



ADDENDUM No. 1
for
INDIANA STATE FAIR COMMISSION
DISCOVERY HALL TENANT
IMPROVEMENTS
1202 East 38th Street
Indianapolis, Indiana 46205

Prepared
for
Indiana State Fair Commission
1202 East 38th Street
Indianapolis, Indiana 46205

July 8, 2011



Cripe Architects + Engineers
3939 Priority Way South Drive
Suite 400
Indianapolis, IN 46240
Phone: (317) 844-6777
FAX: (317) 706-6464
www.cripe.biz

020417-10300

ARGO Consulting Engineers
618 North Davidson Street
Indianapolis, Indiana 46202-3508
Phone: (317) 639-9244
FAX: (317) 639-9249
www.argoce.com



Indiana State Fair Commission
Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

ADDENDUM NO. 1

TO ALL BIDDERS OF RECORD AND TO WHOM IT MAY CONCERN:

This Addendum is being issued prior to the date for receiving bids.

This Addendum forms a part of the Contract Documents and modifies the original Drawings and Specifications as noted below and shall be incorporated into the Contract Drawings. All other provisions of the Drawings and Specifications shall remain unchanged.

This Addendum is issued in accordance with the provisions of the Notice to Bidders section of the Project Manual. All Bids shall be based upon work as modified by this Addendum.

Acknowledge receipt of this Addendum on the Bid Form. Failure to do so may result in disqualification of the Bidder. This Addendum **DOES NOT** change the Bid Date.

INCLUDED IN ADDENDUM:

1. Clarifications
2. Changes to Specifications
3. Changes to Drawings
4. Pre-Bid Meeting Minutes, Dated June 30, 2011

CLARIFICATIONS:

1. Attendance at the Pre-Bid Meeting is **NOT** mandatory to bidding.
2. Reference electrical drawings for lighting fixture quantities. Clarification of lighting fixture layouts will be included in forthcoming ASI.
3. All P.A. Speakers installed in the previous phase of the project shall be removed as part of the Discovery Hall Tenant Improvements Bid Package. There are nine (9) speakers located on the First Floor and six (6) speakers located on the Second Floor.
4. Brickwork patching will be included in this contract. All exposed damaged areas shall be repaired to be restored to match existing masonry finish. Contractor shall verify in field.
5. The MBE/WBE requirements for this project are NON-STIPULATED.
6. All protrusions from exterior masonry walls shall be removed in preparation of new wall finish. This includes the cutting and removal of existing sink hangers, bolts, clips, etc.
7. Contractor will be responsible for appropriate floor leveling including removal of existing protrusions or extremities.
8. Existing conduit and wiring may be reused where within the limits of the NEC.

Indiana State Fair Commission
Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

CHANGES TO SPECIFICATIONS:

- Item No. 1** Specification Section 002113 "Instructions to Bidders"
1. 2.01.D Revise as follows: Submit required Supplement to Bid Forms at the time of bid submission.
 2. Change Paragraph 2.04.A to be read as follows: Indiana State Fair requires that the work of this contract be completed as quickly as possible. All work must be 100% complete by December 1, 2011. Project award date of July 21, 2011 and access to the facility shall not be earlier than August 22, 2011. Pre-construction activities such as, pre-construction meeting, start up documents, submittals, ordering of materials, etc. may occur between time of Notice to Bidders to the time of Mobilization and Access to Facility.
 3. Paragraph 3.03, Availability, is revised as follows: "Bid Documents may be obtained at Reprographix, Inc. located at 437 N Illinois Street, Indianapolis, IN, 46204.
 4. Paragraph 7.07.B: Remove paragraphs #2 and #3.
 5. Change Paragraph 7.07.C: Revise as follows: Submit the following Supplements with Bid Submission.
 6. Paragraph 7.08: Delete in its entirety.
- Item No. 2** Specification Section 004301 "Bid Form Supplements Cover Sheet"
1. Add to Paragraph 1.05: Attachment C (Minority & Women's Business Enterprises ITB Subcontractor Commitment Form) and Attachment D (Indiana Economic Impact Form) shall be submitted WITH bid.
- Item No. 3** Specification Section 102813 "Toilet & Bath Accessories": Delete in its entirety.
- Item No. 4** Specification Section 271116, Telephone/Data Wiring System, See Specification this addendum.
- Item No. 5** Specification Section 087100, Add Stanley Door Hardware as an approved equal for door closers.
- Item No. 6** Specification Section 102200 "Partitions": Add Section 102226 "Folding Panel Partitions" to the specification.
- Item No. 7** Specification Section 123553 "Casework" shall be an open spec for all approved equal manufacturers and/or fabricators.

Indiana State Fair Commission
Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

CHANGES TO DRAWINGS:

Item No. 8 Drawing C202 "Site Details"

1. Revise Drawing C202 as revised by Sketch C-1.
2. Concrete walks do not require any reinforcing.

Item No. 9 Drawing C301 "Grading Plan"

1. There are no Top of Curb, Edge of Pavement elevations given at the concrete walks. There are not any combined curb/walks, and the edge of pavement

Item No. 10 Drawing A002 "General Information"

1. All wall types with a "S" suffix designation will include sound insulation, as shown indicated in the drawings on Sheet A002. All wall types not labeled with "S" designation will NOT include sound insulation at that location.

Item No. 11 Drawing A101 "First Floor Plan"

1. Add Plan Note to the Architectural Key Notes: P.29 PATCH BRICK AS REQUIRED TO MATCH ADJACENT EXISTING MASONRY FINISH. PROVIDE ALUMINUM WALL CAP TO COVER (+/- 6" in width, V.I.F) AND SEAL EXPOSED EDGES (SIMILAR TO PREVIOUS CONSTRUCTION PHASE).
2. Revise Drawing A101: Add Plan Note P.29 to wing wall locations at Exhibit 112. See Sketch ADD.1-1.

Item No. 12 Drawing A102 "Second Floor Plan"

1. Revise Drawing A102 as indicated on Sketches ADD.1-2, ADD.1-3, ADD.1-4, ADD.1-5.
2. Room W203 indicates movable furniture provided by Owner. This is NOT casework at this location.
3. Detail 2/A102 shows a Steel Channel Column Repair. This is an EXISTING condition.
4. Patch, repair, and paint, as necessary, brick near Stair 4001 (located in Corridor 211).

Item No. 13 Drawing A201 "First Floor Reflected Ceiling Plan"

1. Conference Room B113 shall include a flush mounted projection screen, mounted to the 10'-6" bulkhead. A projector rough-in will also be included in this room.
2. Contractor shall center all ceiling grids within each office.
3. At the existing window locations, there is not an interior window stool. The drywall will return to the wall at this location, not to the window. Reference 2/A201 for clarification.

Indiana State Fair Commission Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

Item No. 14 Drawing A202 "Second Floor Reflected Ceiling Plan"

1. Conference Room W208 shall include a projector rough-in, to project on the north wall of this room.
2. Boardroom E205 shall include a projector rough-in, to project on the west wall of this room.

Item No. 15 Drawing ID101 "First Floor Room Finish Plan, Pattern Plan & Schedule"

1. Delete PT-2 from FINISH LEGEND. All door frames to be painted PT-1, to match adjacent walls.

Item No. 16 Mechanical Sheet M101:

1. Add diffuser, thermostat, ductwork, volume damper, and fan coil unit FCU-1A to IT Room B103. See attached partial plan M101a.
2. From Plan Note 4, delete "x (length as shown)" and add to Plan Note 4 "All transfer air ducts will be made with fiberglass lined duct and shall include at least two 90 degree elbows.

Item No. 17 Mechanical Sheet M102:

1. Add diffuser, thermostat, ductwork, volume damper, and fan coil unit FCU-1B to Server Room E223. See attached partial plan M102a.
2. From Plan Note 4, delete "x (length as shown)" and add to Plan Note 4 "All transfer air ducts will be made with fiberglass lined duct and shall include at least two 90 degree elbows.

Item No. 18 Mechanical Sheet M103:

1. Provide hot and chilled water piping to the new fan coil unit FCU-1A. See attached partial plan M103a.

Item No. 19 Mechanical Sheet M104:

1. Provide hot and chilled water piping to the new fan coil unit FCU-1B. See attached partial plan M104a.

Item No. 20 Mechanical Sheet M201:

1. Sheet M201; Fan coil unit details; the condensate piping shall have a line size riser cleanout at the fan coil condensate trap.

Item No. 21 Mechanical Sheet M301:

1. Fan Coil Unit Schedule remove not used from FCU-1.

Indiana State Fair Commission Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

Item No. 22 Plumbing Sheet Sheet P101:

1. In Catering Kitchen/Breakroom Room B115 mount the sanitary cleanout in the wall above the ceiling of the breakroom.

Item No. 23 Plumbing Sheet P102:

1. For SK4, sink in Waiting Room W202, the hot water supply shall come from the chase immediately west of Men's Room 206. There is a lavatory in the corner. Delete the ¾" HW coming from the chase immediately east of Men's Room 206.

Item No. 24 Electrical Sheet ED101:

1. IT Room B103, Add Plan Note 3 to existing unit heater'

Item No. 25 Electrical Sheet E101:

1. IT Room B103, Breakroom B115, Offices B116, B117, B120-B128, Copy & Product B129, Offices B130-B131, B133, B135-B137, Offices B141-B148, B150-B154, and B156, change Plan Note 4 to Plan Note 32.
2. Office B134, File Storage B140, Office B155, and Lab B183, delete light switches and Plan Note 4. Add occupancy sensor which is to be described by Plan Note 33. Location of occupancy sensor to be verified in the field.
3. BOAH Shell Space 104, delete two (2) Type D light fixtures from this room. Space remaining light fixtures evenly.
4. Marion County Extension Shell Space 106, delete three (3) Type D light fixtures from this room. Space remaining light fixtures evenly.
5. Exhibit 112, shift the seven (7) west most light fixtures 2' to the east.
6. File Storage B140, change the four (4) Type B light fixtures to Type F light fixtures.
7. Delete Plan Note 18.
8. Plan Note 23, delete "via Relay 6 in RP- BGD1".
9. Plan Note 24, delete "via Relay 7 in RP-BGD1".
10. Plan Note 25, delete "via Relay 8 in RP-BGD1".
11. Plan Note 26, delete "via Relay 9 in RP-BGD1".
12. Plan Note 27, delete "via Relay 10 in RP- BGD1".
13. Plan Note 28, delete "via Relay 14 in RP-BGD1".
14. Plan Note 29, delete "via Relay 15 in RP-BGD1".
15. Plan Note 30, delete "via Relay 16 in RP-BGD1".
16. Add Plan Note 32, it is to read as follows: "Occupancy sensor to be a dual technology single circuit wall occupancy sensor, Hubbell LHMTS or approved equal."
17. Add Plan Note 33, it is to read as follows: "Occupancy sensor to be a ceiling mounted dual technology occupancy sensor with power pack, Hubbell OMNI-DT500-UVPP-120V or approved equal."

Indiana State Fair Commission

Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

Item No. 26 Electrical Sheet E102:

1. AV Storage E203, change Plan Note 4 to Plan Note 31 and change Plan Note 28 to Plan Note 34.
2. Field Work E206, Coat Room E210, Director's Office E211, Copy/Production E212, Enclave E217, Locked Storage E220, Enclave E222, and Server E223, change Plan Note 4 to Plan Note 31.
3. Locked Storage E220, change Plan Note 18 to Plan Note 33.
4. Breakroom E226, delete light switches and Plan Note 4. Add occupancy sensor which is to be described by Plan Note 32. Location of occupancy sensor to be verified in the field.
5. Open Office/Map W204 and Mud Room W209, delete light switches and both Plan Notes 3. Add two occupancy sensors which are to be described by Plan Note 32. Location of occupancy sensors are to be verified in the field.
6. Entry W201, Waiting W202, Director Office W205, Office W206, and Office W207, change Plan Note 3 to Plan Note 31.
7. Office W207, delete Plan Note 13. Light fixtures in this room to be connected to lighting circuit in Office W206.
8. Conference W208, add Plan Note 13 to light fixtures in this room. Add two (2) light switches in this room. The two north most light fixtures are to be dual switched separately from the other light fixtures in the room. Plan Note 3 is to apply to all light switches in the room.
9. Board Room E205, add two (2) light switches in this room. The two west most light fixtures are to be dual switched separately from the other light fixtures in the room. Plan Note 4 is to apply to all light switches in the room.
10. Lobby E201, delete the west most Type C light fixture. Move the remaining two (2) Type C light fixtures approximately 18" to the north so they are in front of the cabinet work.
11. Copy/Production E212, relocate the west most light switches as required for change in door swing. See Architectural sheets.
12. Shell Space 212, delete three (3) Type D light fixtures from this room. Space remaining light fixtures evenly.
13. Plan Note 11, delete "via Relay 74 in RP-1GD2".
14. Plan Note 12, delete "via Relay 75 in RP-1GD2".
15. Plan Note 16, delete "via Relay 50 in RP-1GD1".
16. Plan Note 22, delete "via Relay 57 in RP-1GD2".
17. Plan Note 23, delete "via Relay 58 in RP-1GD1".
18. Add Plan Note 31, it is to read as follows: "Occupancy sensor to be a dual technology single circuit wall occupancy sensor, Hubbell LHMTS or approved equal."
18. Add Plan Note 32, it is to read as follows: "Occupancy sensor to be a ceiling mounted dual technology occupancy sensor with power pack, Hubbell OMNI-DT500-UVPP-120V or approved equal."
19. Add Plan Note 33, it is to read as follows: "1GDP1-35".
20. Add Plan Note 34, it is to read as follows: "1GDP1-4".
21. Existing Lighting Control Panel Detail: make the following changes to the Nameplate Legend. Change relays controlled for No. 4 to 2-5,26, No. 8 to 49,51,52,54-56,59, No. 9 to 76.

Indiana State Fair Commission
Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

22. Existing Lighting Control Panel Detail: add the following note. Add switches as required to existing lighting control panel. Switches to match existing switches. Provide all wiring between relay panels and lighting control panel.

Item No. 27 Electrical Sheet E103:

1. Lab B183, delete Plan Note 23.
2. Boiler Room 105, the existing Fire Alarm Panel is located on the north half of the east wall, not where it is shown. The existing electrical panels on the north wall are located as far east as they can be. Under the west most window is a communication pullbox with 1-4"C that runs from the pullbox to the Exhibit Hall. There is also a 2" Conduit to the west of the pullbox that runs to the Exhibit Hall. The Exhibit Hall is the building to the west of Discovery Hall.
3. Plan Note 25, change to read: "Provide 2-2" conduits from IT Room B103 to existing communication pullbox on north wall of Boiler Room 105 for internet and telephone service. Provide 12 strand multimode fiber from IT Room B103 through the 2-2"conduits, through the existing communication pullbox, and through the existing conduits that run to the Exhibit Hall to a demarc location in the Exhibit Hall. The demarc location will be determined in the field. A length of 300' is to be included in the bid for the cabling from the existing communication pullbox to the demarc location."
4. IT Room B103, delete all work associated with SAC-1, EVP-1, and Plan Note 20. Connect FCU-1A to circuit BGDP3-17 (same circuit as FCU-5B).
5. IT Room B103, provide an equipment rack with patch panels for data and telephone outlets. All data and telephone cabling shall be terminated on these patch panels. See Specification Section 271116 in this addendum.
6. Delete Plan Notes 20 and 23.

Item No. 28 Electrical Sheet E104:

1. Right outside of Server Room E223, change Plan Note 33 to Plan Note 158.
2. Plan Note 18, change to read: "Provide 2-2" conduits from Server Room E223 to existing communication pullbox on north wall of Boiler Room 105 for internet and telephone service. The 2-2" conduits are to drop down through the floor of Server Room E223 and run above the first floor ceiling. Location of penetration through the floor of Server Room E223 is to be determined in the field. Provide 12 strand multi-mode fiber and 200 pair telephone cable from Server Room E223 through the 2-2"conduits, through the existing communication pullbox, and through the existing conduits that run to the Exhibit Hall to a demarc location in the Exhibit Hall. The demarc location will be determined in the field. A length of 300' is to be included in the bid for the cabling from the existing communication pullbox to the demarc location."
3. Shell Space 212, delete the note "Down to Boiler Room."
4. Server Room E223, delete all work associated with SAC-2, EVP-2, and Plan Note 29. Connect FCU-1B to circuit 1GDP3-24 (same circuit as FCU-2F).
5. Delete Plan Note 29.

Indiana State Fair Commission
Discovery Hall Tenant Improvements

© 2011 Cripe Architects + Engineers

6. Server Room E223, provide an equipment rack with patch panels for data and telephone outlets. All data and telephone cabling shall be terminated on these patch panels. See Specification Section 271116 in this addendum.
7. Conference Room W208, provide junction box, data outlet, and duplex receptacle mounted in ceiling for projector. Route conduit from junction box in ceiling to junction box on north wall. Junction box on north wall to be adjacent to data outlet. Plan Note 32 shall apply to junction box. Connect receptacle to circuit 1GDP7-15.
8. Board Room E205, provide junction box, data outlet, and duplex receptacle mounted in ceiling for projector. Route conduit from junction box in ceiling to junction box on west wall. Junction box on west wall to be adjacent to data outlet. Plan Note 32 shall apply to junction box. Connect receptacle to circuit 1GDP5-20.
9. Copy/Production E212, see 8 ½ x 11 drawing in this addendum.

Item No. 29 Electrical Sheet E302:

1. Existing Panel BGD3, change load description for circuits 13,15 to Spare .
2. Existing Panel 1GDP3, change circuits 36,38 to Spare and remove requirement for new circuit breaker.

Item No. 30 Electrical Sheet E303:

1. Existing Lighting Relay Panel RP-BGD1: change the load descriptions for Relay Numbers 6, 7, 8, 9, 10, 14, 15, and 16 to Spare.
2. Existing Lighting Relay Panel RP-1GD1: change the load descriptions for Relay Numbers 50, 57, and 58 to Spare. Change the load description for Relay Number 52 to Lighting – E221. Change the load description for Relay Number 62 to Lighting – E204, Fluorescents.
3. Existing Lighting Relay Panel RP-1GD2: change the load descriptions for Relay Numbers 74 and 75 to Spare. Change the load description for Relay Number 76 to Lighting – W208, W210.

SECTION 10 22 26.33

FOLDING PANEL PARTITIONS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Acoustic operable panel partition.
- B. Ceiling track, ceiling guards, and operating hardware.

1.02 RELATED REQUIREMENTS

- A. Section 06 10 00 - Rough Carpentry: Wood blocking and track support shimming.
- B. Section 07 90 05 - Joint Sealers: Acoustical sealant.

1.03 REFERENCE STANDARDS

- A. ASTM E 84 - Standard Test Method for Surface Burning Characteristics of Building Materials.
- B. ASTM E 90 - Standard Test Method for Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions and Elements.
- C. ASTM E 413 - Classification for Rating Sound Insulation.
- D. ASTM E 557 - Standard Guide for The Installation of Operable Partitions.
- E. ASTM E 596 - Standard Test Method for Laboratory Measurement of Noise Reduction of Sound-Isolating Enclosures.
- F. ASTM F 793 - Standard Classification of Wallcovering by Use Characteristics.
- G. NEMA LD 3 - High-Pressure Decorative Laminates; National Electrical Manufacturers Association.

1.04 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide data on partition materials.
- C. Shop Drawings: Indicate opening sizes, track layout, details of track and required supports, and stacking depth.
- D. Samples for Selection: Submit two samples of full manufacturer's color range for selection of colors.
- E. Samples for Review: Submit two samples of surface finish, 12 x 12 inches size, illustrating quality.
- F. Manufacturer's Instructions: Indicate special procedures.
- G. Certificates: Certify that partition system meets or exceeds specified acoustic requirements.
- H. Maintenance Data: Include recommended cleaning methods, cleaning materials, and stain removal methods. Describe cleaning materials detrimental to finish surfaces and hardware finish.

1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified this section with minimum three years of documented experience.

PART 2 PRODUCTS

- A. Acceptable Manufacturers:
 - 1. Hufcor, Inc: www.hufcor.com.
 - 2. Modernfold, Inc: www.modernfold.com.
 - 3. Panelfold, Inc: www.panelfold.com.

2.02 COMPONENTS

- A. Operable Panel Partition: Center opening; paired panels; center stacking; manually operated.
 - 1. Panel Finish: Manufacturers standard acoustical carpet at 23 oz. per linear yard.
 - 2. Noise Reduction Coefficient (NRC): ASTM E 596, NRC of 0.65 minimum.
 - 3. Sound Transmission Class (STC): 48-52 calculated in accordance with ASTM E 413, based on tests conducted in accordance with ASTM E 90, on panel size of 100 sq ft.
 - 4. Surface Burning Characteristics of Panel Finish: Flame spread/Smoke developed index of 25/50, maximum, when tested in accordance with ASTM E 84.
 - 5. Installed partition system track capable of supporting imposed loads, with maximum deflection of 1/360 of span.
- B. Panel Construction:
 - 1. Panel Substrate Facing: Steel sheet,.0478 inch thick.
- C. Core: 16 gage formed sheet steel frame top, bottom, jambs, and intermediates; welded construction, internally reinforced at suspension points, with acoustical insulation fill.
 - 1. Trim: Trimless.
 - 2. Hinges: Continuous piano type, 18 gage stainless steel.
 - 3. Panel to Panel Seals: Grooved and gasketed astragals; continuous flexible ribbed vinyl seal fitted to panel edge construction; color to match panel finish.
- D. Track: Formed steel; 1-5/8 x 1-5/8 inches size; thickness and profile designed to support loads, steel sub-channel and track connectors, track switches.
- E. Carriers: Ball bearing, steel wheels on trolley carrier at top of every _____ panel, sized to carry imposed loads, with threaded pendant bolt for vertical adjustment.
- F. Hardware: Latching door handles of cast steel, satin chrome finish; lock cylinder keyed to building keying system; pull bars; _____.
- G. Acoustic Seals: Flexible acoustic seals at jambs, meeting mullions, ceilings, retractable floor and ceiling seals, and above track to structure acoustic seal.
- H. Accessories: White enameled ceiling closure; aluminum jamb and head molding, fittings and attachments, and intermediate meeting posts.
- I. Pocket Enclosures: Door, frame, and trim to match adjacent walls.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that field measurements are as indicated.
- B. Verify track supports are laterally braced and will permit track to be level within 1/4 inch of required position and parallel to the floor surface.
- C. Verify floor flatness of 1/8 inch in 10 feet, non-cumulative.
- D. Verify wall plumbness of 1/8 inch in 10 feet, non-cumulative.

3.02 INSTALLATION

- A. Install partition in accordance with manufacturer's instructions and ASTM E 557.

2011 Cripe Architects + Engineers

- B. Fit and align partition assembly and pocket doors level and plumb.
- C. Lubricate moving components.
- D. Apply acoustic sealant to achieve required acoustic performance.

3.03 ADJUSTING

- A. Adjust partition assembly to provide smooth operation from stacked to full open position. Do not over-compress acoustic seals.
- B. Visually inspect partition in full extended position for light leaks to identify a potential acoustical leak.
- C. Adjust partition assembly to achieve lightproof seal.

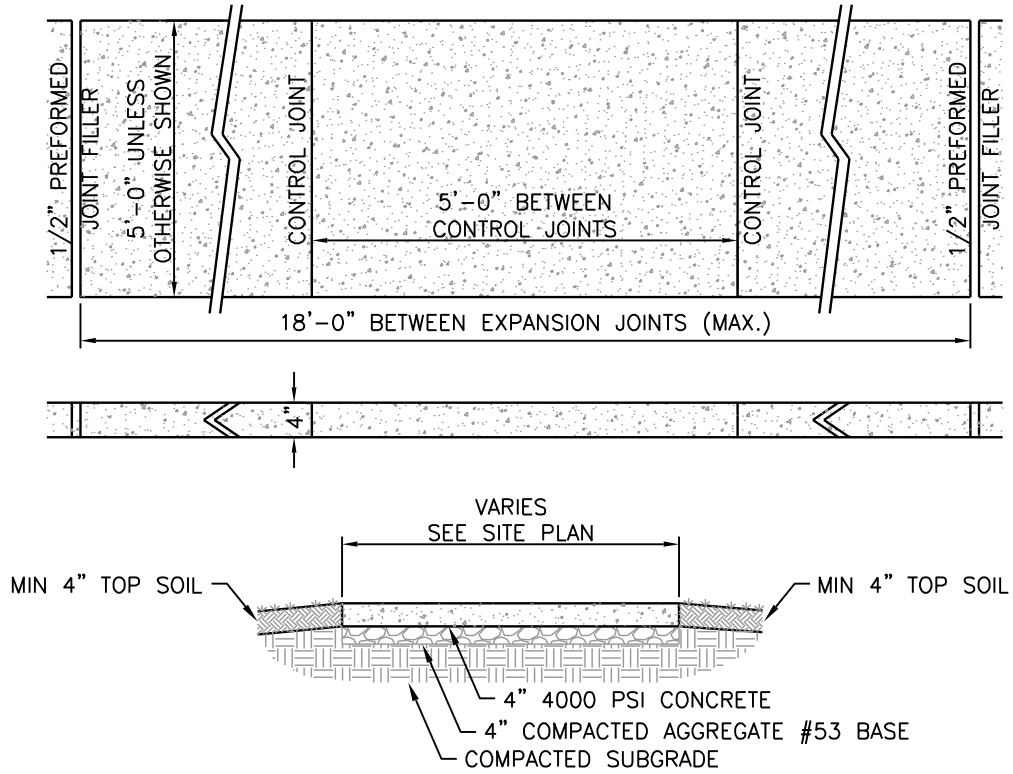
3.04 CLEANING

- A. Clean finish surfaces and partition accessories.

3.05 CLOSEOUT ACTIVITIES

- A. Demonstrate operation of partition and identify potential operational problems.

END OF SECTION



CONCRETE SIDEWALK

NO SCALE

TITLE: CONCRETE SIDEWALK DETAIL

SKETCH NUMBER C-1

Date:
7/7/2011

SCALE:
NTS

PROJECT NO:
020417-20000



Architects + Engineers

Solutions by Design Since 1987

3939 Priority Way South Drive, Suite 400
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464
E-Mail cripe@cripe.biz

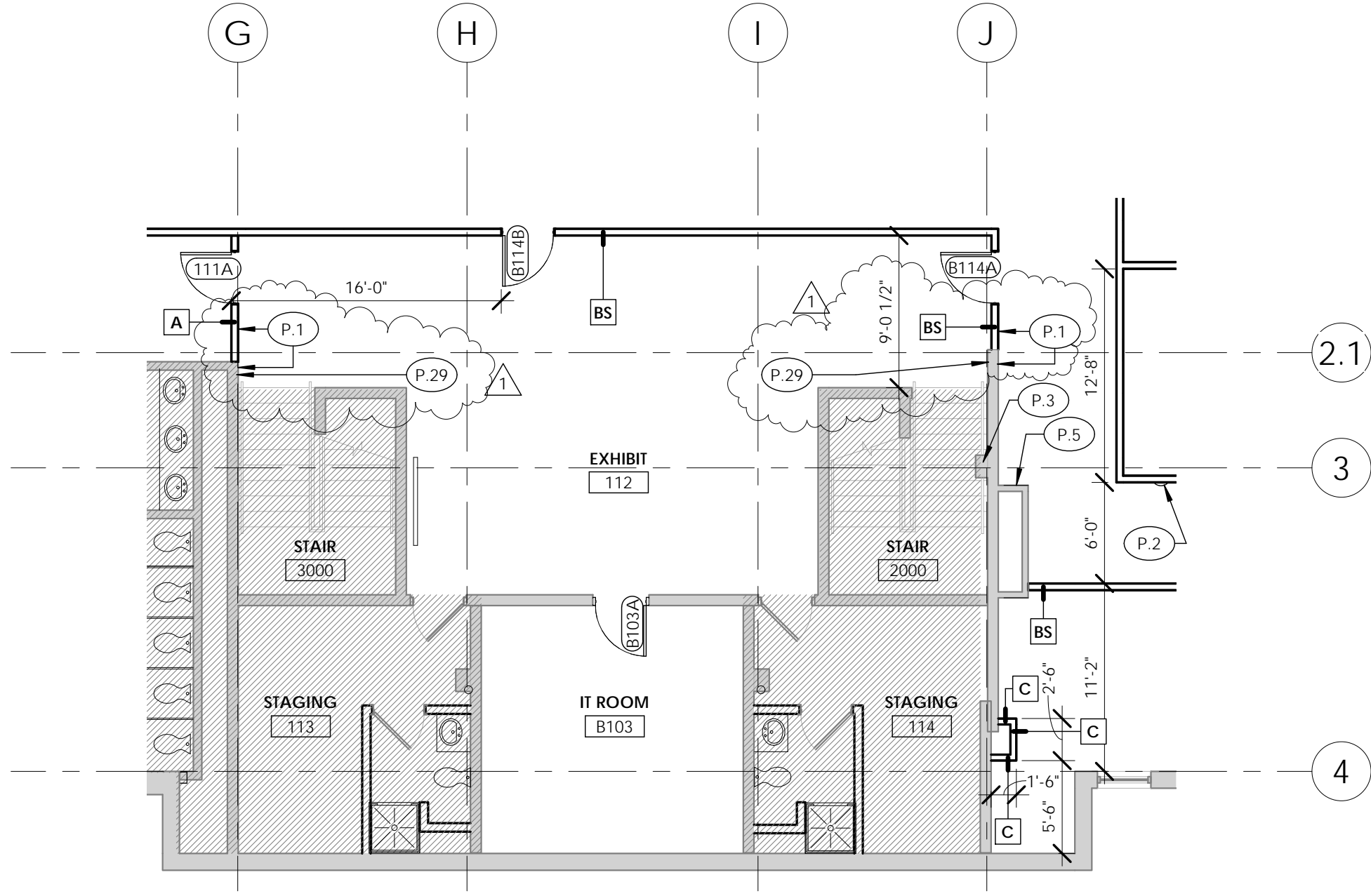
© Paul I. Cripe, Inc.

- ARCHITECTURE
- EQUIPMENT PLANING
- INTERIOR DESIGN
- CIVIL / TRANSPORTATION ENGINEERS
- LAND PLANNING
- LAND SURVEYING
- GIS
- OWNER'S REPRESENTATION

1

FIRST FLOOR PLAN

1/8" = 1'-0"



3939 PRIORITY WAY SOUTH DRIVE,
SUITE 400
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464
E-Mail: cripe@cripe.biz
 ● ARCHITECTURE
 ● INTERIOR DESIGN
 ● CIVIL/TRANSPORTATION ENGINEERS
 ● LAND SURVEYING
 ● OWNERS REPRESENTATION



CHANGES TO WING WALLS

SHEET

ADD.1-1

© Paul I. Cripe, Inc.
TYPE OF DWG: APPENDUM 1

DATE: 06/24/2011

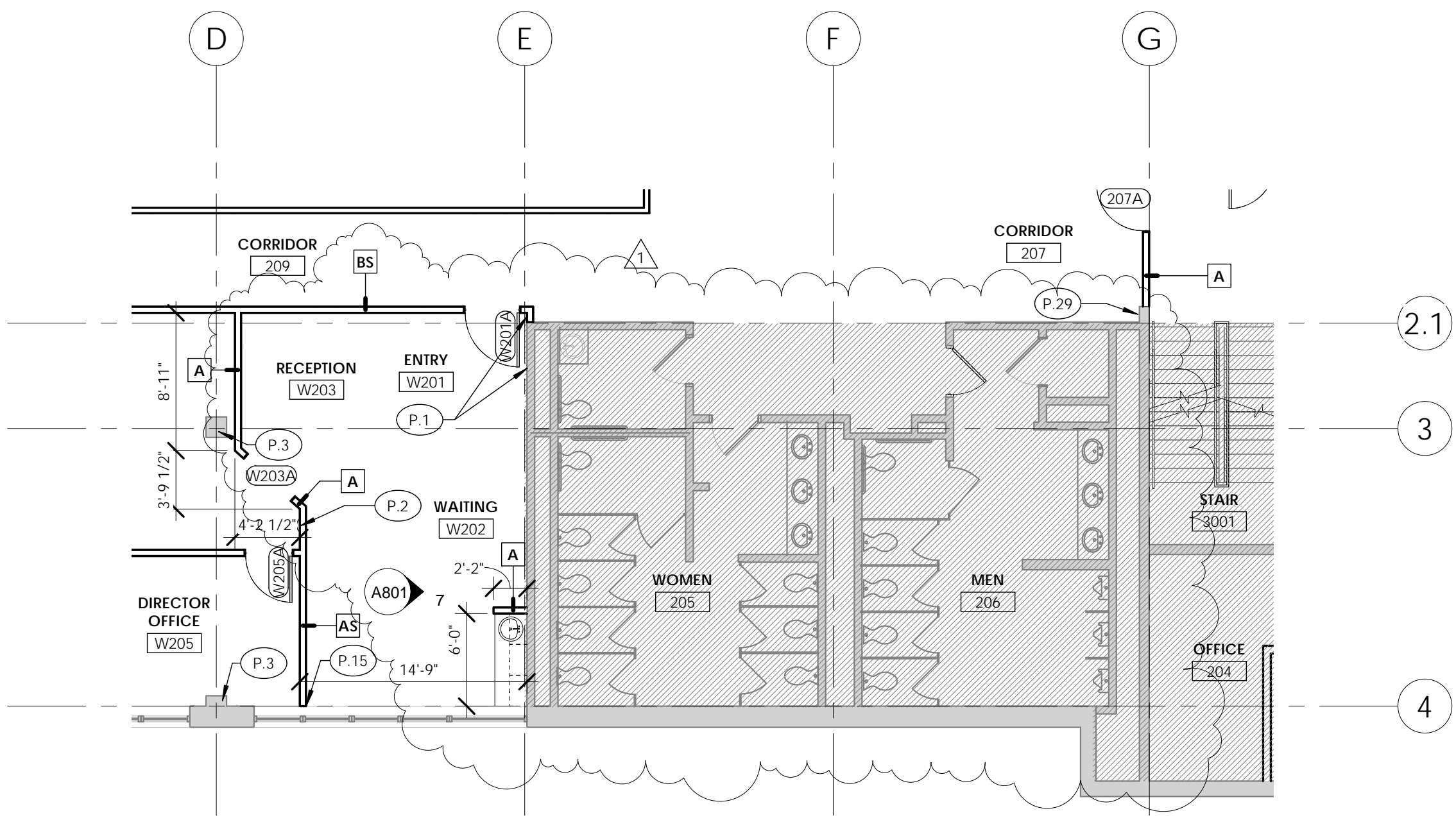
JOB NO: 0020417-80000

JOB NAME: DISCOVERY HALL TENANT IMPROVEMENTS

JOB ADDRESS: Indiana State Fair Commission

1202 East 38th Street

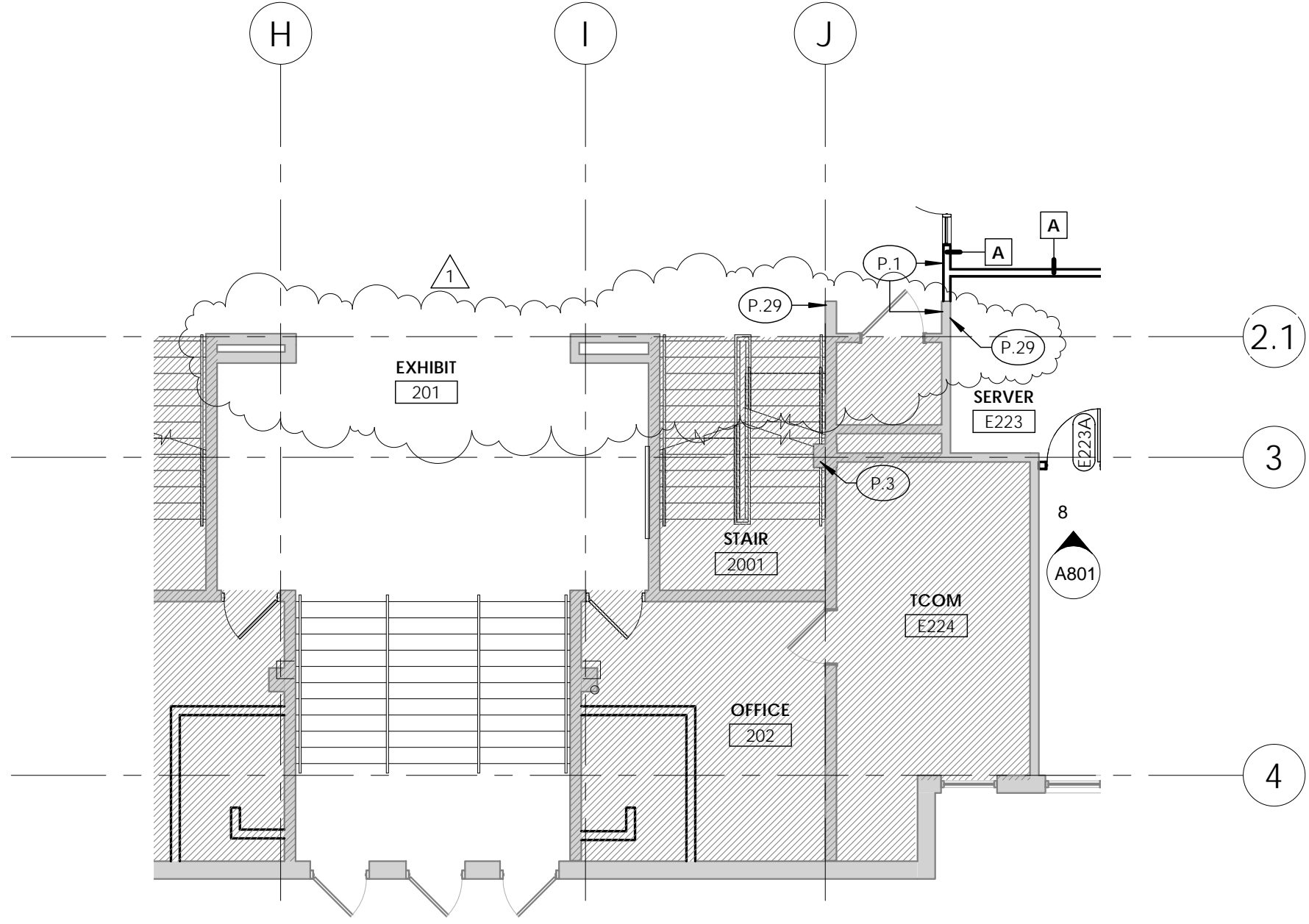
Indianapolis, Indiana 46205



1 SECOND FLOOR PLAN
1/8" = 1'-0"

<p>3939 PRIORITY WAY SOUTH DRIVE, SUITE 400 INDIANAPOLIS, INDIANA 46240 (317) 844-6777 FAX (317) 706-6464 E-Mail: cripe@cripe.biz</p> <p> ● ARCHITECTURE ● INTERIOR DESIGN ● CIVIL ENGINEERING ● LAND SURVEYING ● GIS ● OWNERS REPRESENTATION </p>	<p>DATE: 06/24/2011</p>	<p>JOB NO: 0020417-80000</p>
	<p>JOB NAME: DISCOVERY HALL TENANT IMPROVEMENTS</p>	
<p>Indiana State Fair Commission 1202 East 38th Street Indianapolis, Indiana 46205</p>		
<p>SHEET: ADD.1-2</p>		
<p>CHANGES TO EXISTING TOILET ROOM DOCUMENTATION</p>		
<p>© Paul I. Cripe, Inc. TYPE OF DWG: ADDENDUM 1</p>		
<p>Cripe Architects + Engineers</p>		

1 SECOND FLOOR PLAN
1/8" = 1'-0"



3939 PRIORITY WAY SOUTH DRIVE,
SUITE 400
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464
E-Mail: cripe@cripe.biz
 ● ARCHITECTURE
 ● INTERIOR DESIGN
 ● CIVIL/TRANSPORTATION ENGINEERS
 ● LAND SURVEYING
 ● GIS
 ● OWNERS REPRESENTATION

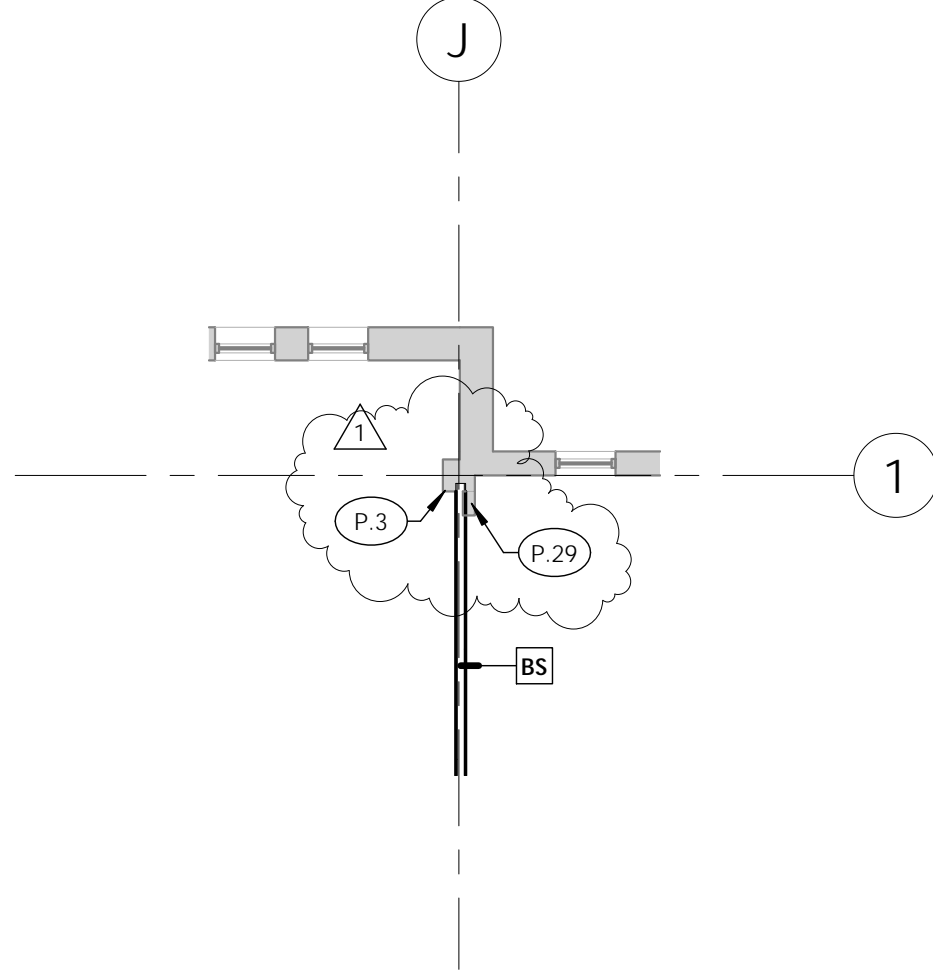


CHANGES TO WING WALLS
 © Paul I. Cripe, Inc.
 TYPE OF DWG: ADDENDUM 1

SHEET
ADD.1-3

DATE: 06/24/2011 JOB NO: 0020417-80000
 JOB NAME: DISCOVERY HALL TENANT IMPROVEMENTS
 JOB ADDRESS: Indiana State Fair Commission
 1202 East 38th Street
 Indianapolis, Indiana 46205

1 SECOND FLOOR PLAN
1/8" = 1'-0"



3939 PRIORITY WAY SOUTH DRIVE,
SUITE 400
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464
E-Mail: cripe@cripe.biz
 ● ARCHITECTURE
 ● INTERIOR DESIGN
 ● CIVIL ENGINEERING
 ● LAND SURVEYING
 ● GIS
 ● OWNERS REPRESENTATION

CHANGES TO NOTES AT WING
WALL

© Paul I. Cripe, Inc.

TYPE OF DWG: ADDENDUM 1

SHEET

ADD.1-4

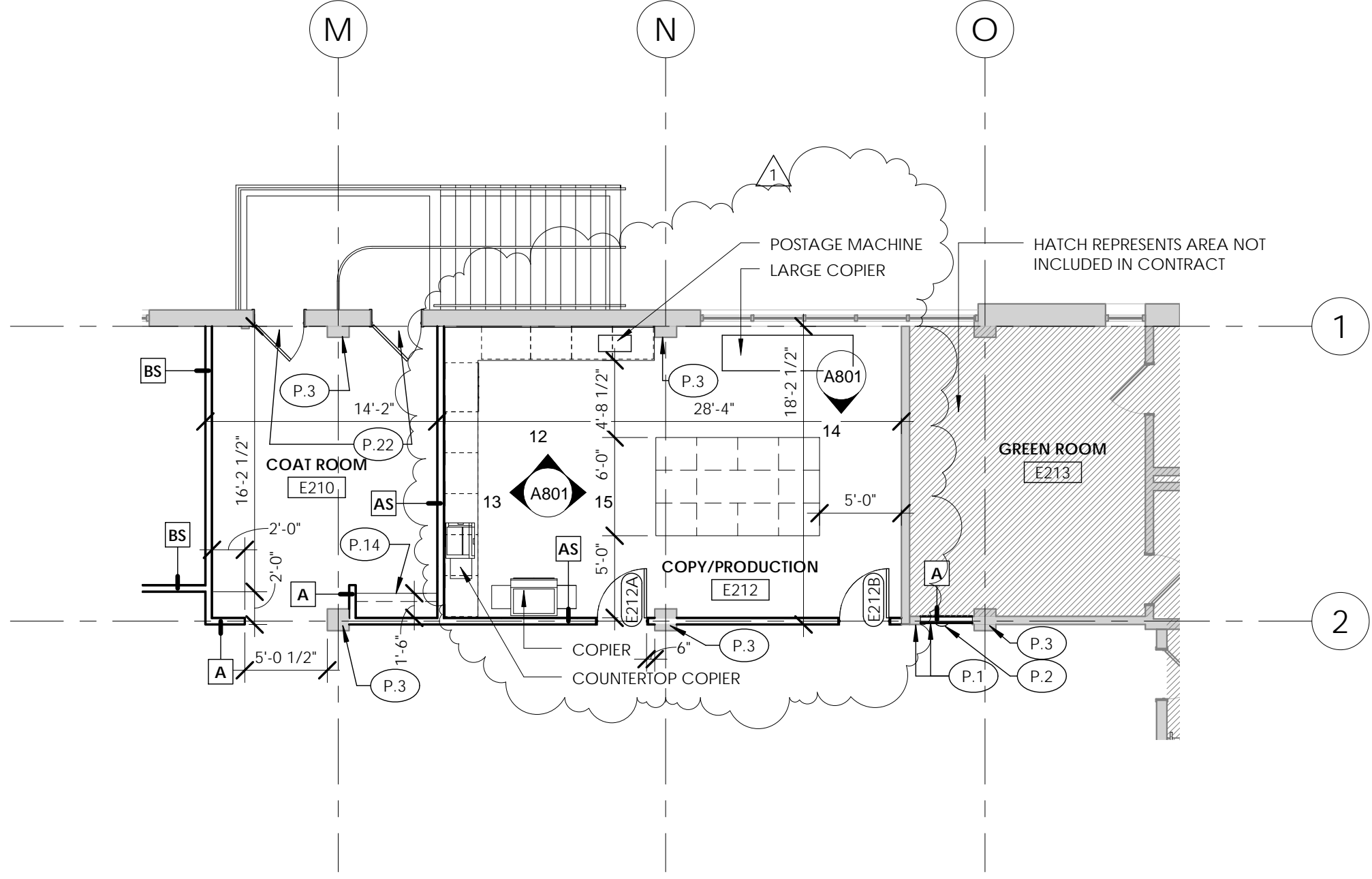
DATE: 06/24/2011

JOB NO: 0020417-80000

JOB NAME: DISCOVERY HALL TENANT IMPROVEMENTS

JOB ADDRESS:
Indiana State Fair Commission
1202 East 38th Street
Indianapolis, Indiana 46205

1 SECOND FLOOR PLAN
1/8" = 1'-0"



3939 PRIORITY WAY SOUTH DRIVE,
SUITE 400
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464
E-Mail: cripe@cripe.biz
 ● ARCHITECTURE
 ● INTERIOR DESIGN
 ● CIVIL ENGINEERING
 ● LAND SURVEYING
 ● GIS
 ● OWNERS REPRESENTATION

CHANGES TO LAYOUT OF
COPY/PRODUCTION ROOM

© Paul I. Cripe, Inc.
TYPE OF DWG: ARCHITECTURAL

SHEET

ADD.1-5

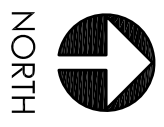
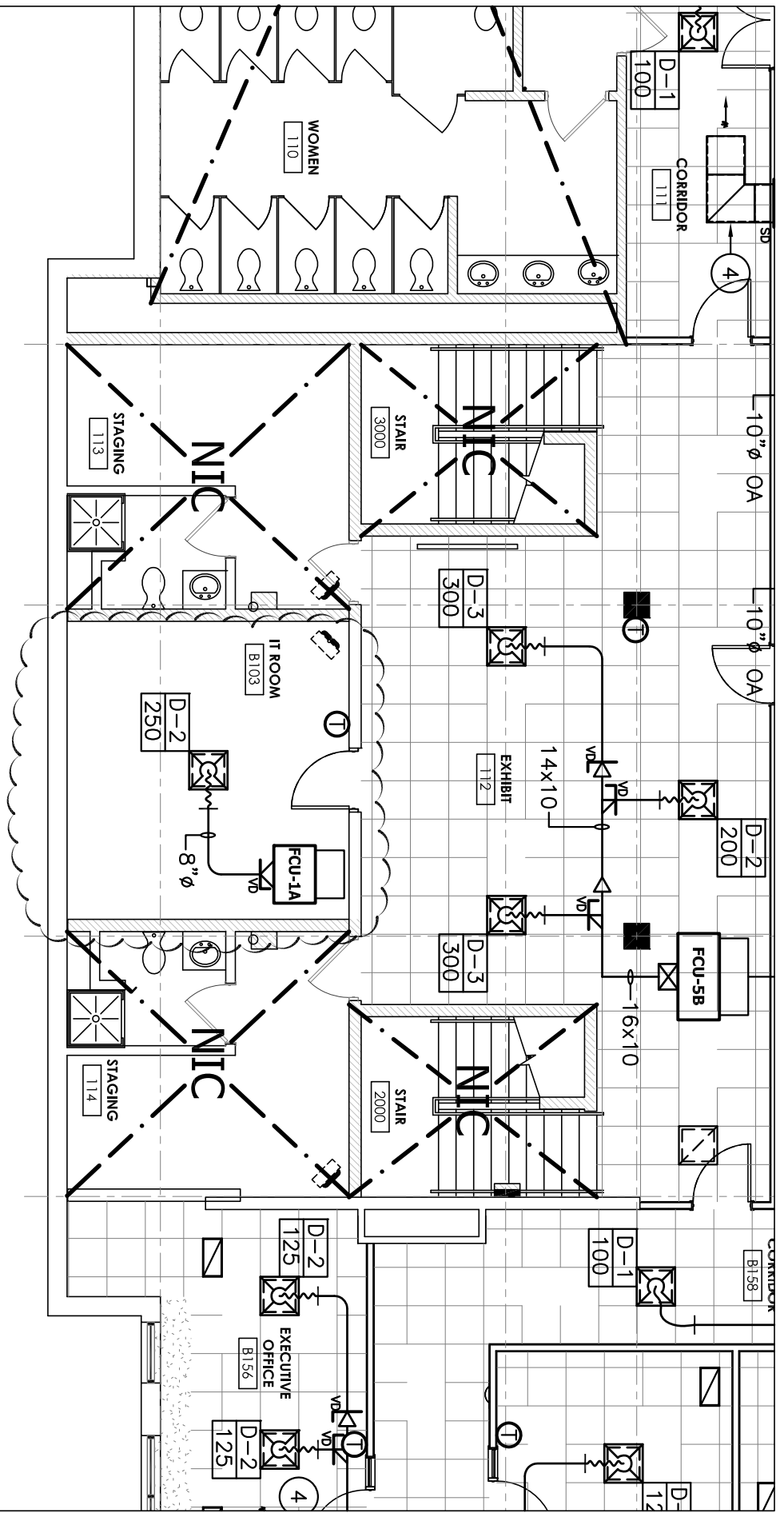
DATE: 06/24/2011
JOB NO.: 0020417-80000
JOB NAME: DISCOVERY HALL TENANT IMPROVEMENTS
JOB ADDRESS: Indiana State Fair Commission
1202 East 38th Street
Indianapolis, Indiana 46205

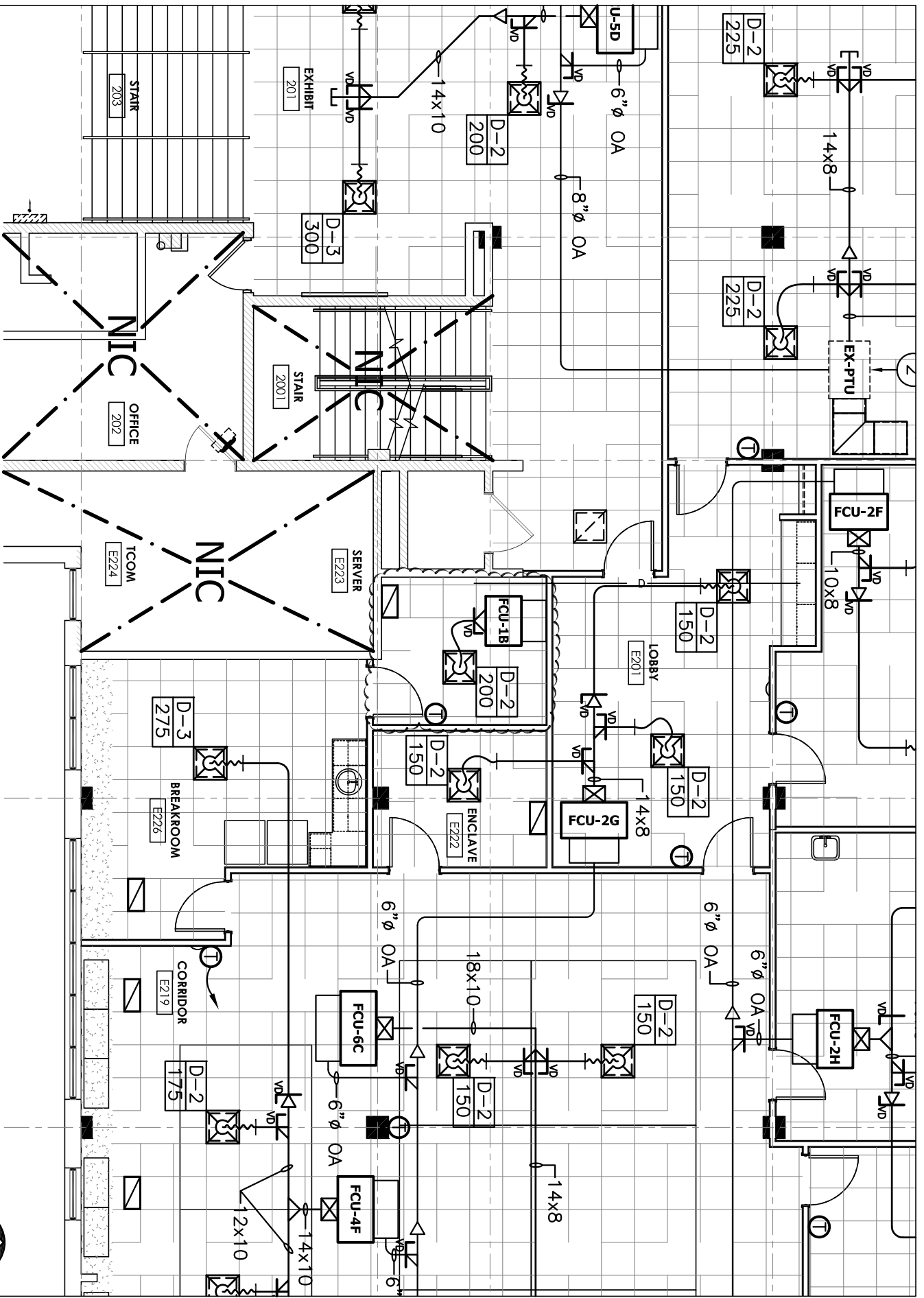


1

1/8" = 1'-0"

PARTIAL FIRST FLOOR MECHANICAL PLAN





1

PARTIAL SECOND FLOOR MECHANICAL PLAN

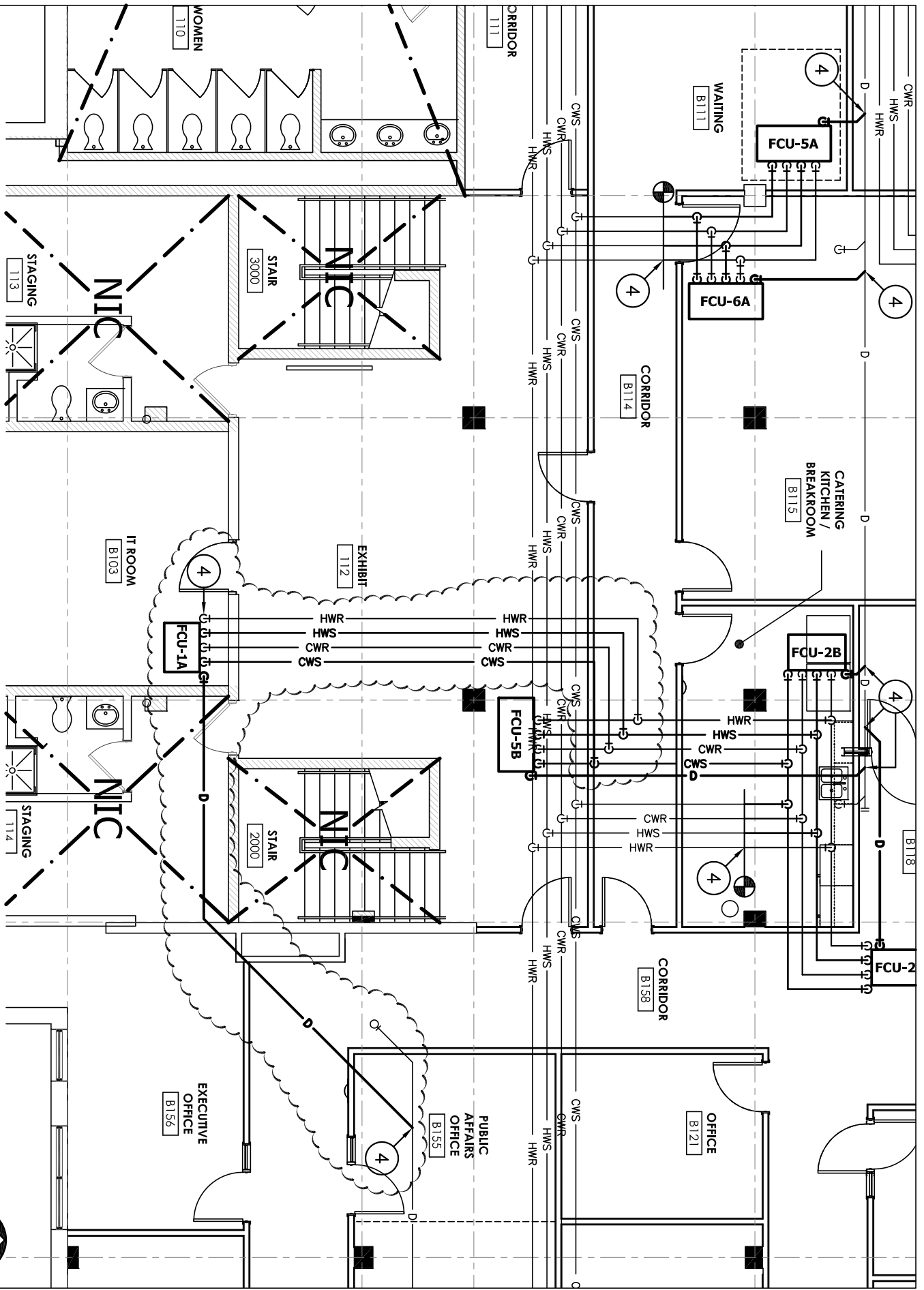
1/8" = 1'-0"



1

1/8" = 1'-0"

PARTIAL FIRST FLOOR MECHANICAL PIPING PLAN



Project	Partial First Floor Mechanical Piping Plan
Client	Indiana State Fair Commission
Location	1202 East 38th Street, Indianapolis, Indiana 46205
Scale	1/8" = 1'-0"
Date	07/07/2011
Drawn by	M103c
Checked by	
Approved by	
Project No.	0202411-462005

PARTIAL FIRST FLOOR MECHANICAL PIPING PLAN
DISCOVERY HALL TENANT IMPROVEMENTS
Indiana State Fair Commission
 1202 East 38th Street
 Indianapolis, Indiana 46205



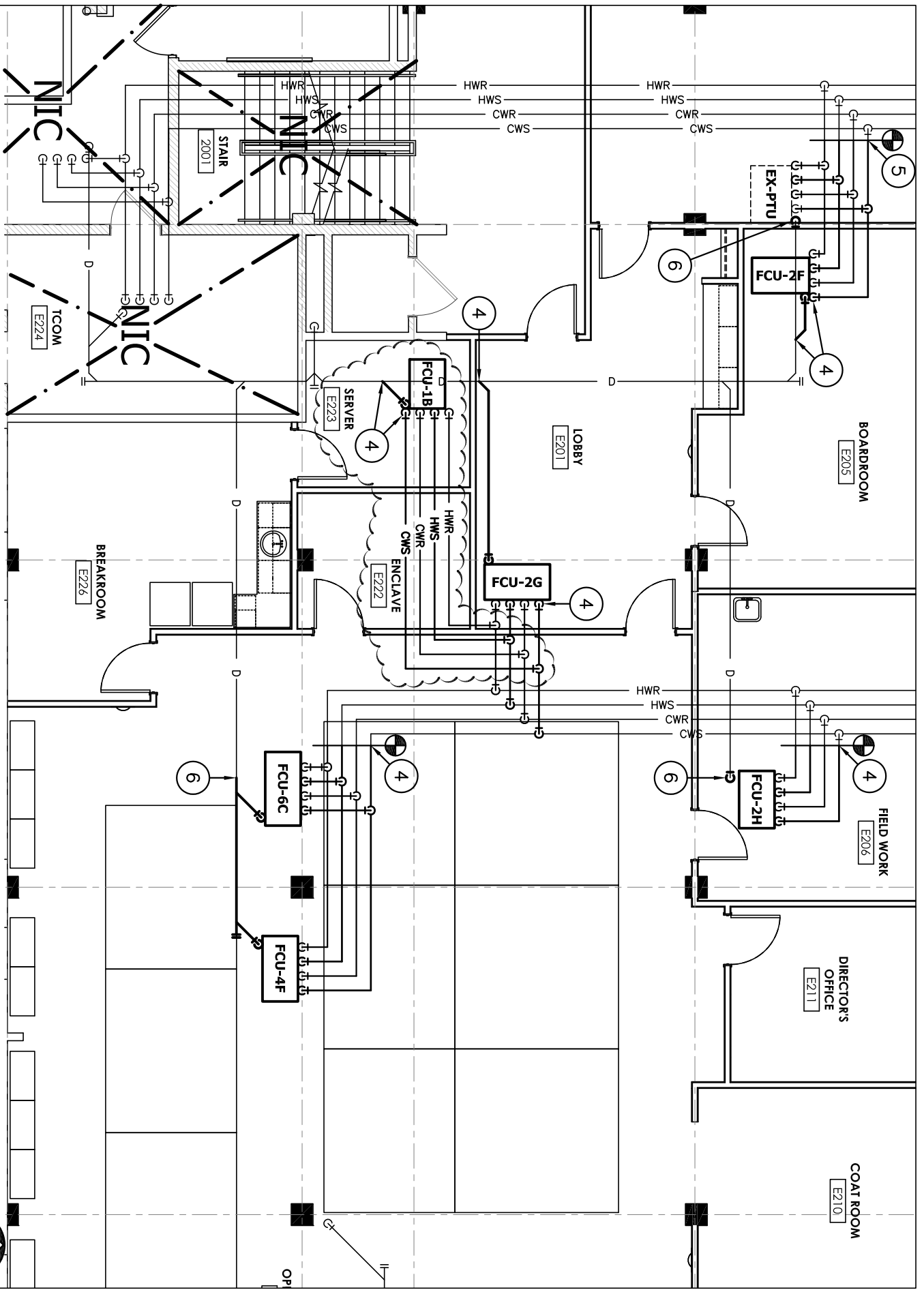
3939 PRIORITY WAY SOUTH DRIVE
 SUITE 400
 INDIANAPOLIS, INDIANA 46240
 phone | 317.844.6777
 fax | 317.765.6464
 cripe@cripe.biz

ARGO CONSULTING ENGINEERS, INC.
 618 N. DAVIDSON STREET
 INDIANAPOLIS, IN. 46202
 PHONE: (317) 639-9244
 FAX: (317) 639-9249
 EMAIL: argo@argocorp.com
 © copyright 2011 Argo Consulting Engineers, Inc.

Revision	1	07/07/11	ADDENDUM NO. 1
----------	---	----------	----------------

1
1/8" = 1'-0"

PARTIAL SECOND FLOOR MECHANICAL PIPING PLAN



07/07/2011	M104C
02/01/11-06/00	

PARTIAL SECOND FLOOR MECHANICAL PIPING PLAN
DISCOVERY HALL TENANT IMPROVEMENTS
Indiana State Fair Commission
1202 East 38th Street
Indianapolis, Indiana 46205



3939 PRIORITY WAY SOUTH DRIVE
SUITE 400
INDIANAPOLIS, INDIANA 46240
phone | 317.844.6777
fax | 317.758.6464
cripe@cripe.biz

- ARCHITECTURE
- INTERIOR DESIGN
- CIVIL ENGINEERING
- LAND SURVEYING
- MASTER/LAND PLANNING
- TRANSPORTATION ENGINEERING
- GIS

ARGO CONSULTING ENGINEERS, INC.
618 N. DAVIDSON STREET
INDIANAPOLIS, IN. 46202
PHONE: (317) 639-9244
FAX: (317) 639-9249
EMAIL: argo@argocorp.com
© copyright 2011 Argo Consulting Engineers, Inc.

1	07/07/11	ADDENDUM NO. 1
---	----------	----------------



3939 Priority Way South
Drive, Suite 400
Indianapolis, IN 46240
317.844.6777
FAX: 317.706-6464
www.cripe.biz

Architects + Engineers

Solutions by Design Since 1937

Indiana State Fair Commission
Discovery Hall Phase Tenant Improvements

June 30, 2011

PROJECT NAME

DATE

PRE-BID MEETING MINUTES

020417-80000

CRIFE Project #

PREPARED BY Erin M. Rossier – Cripe Architects + Engineers

PRESENT: See attached "Sign-In Roster".

AGENDA

INTRODUCTION:

OWNER'S REPRESENTATIVE

Rich Trombley, Director of Buildings and Grounds

ARCHITECT'S REPRESENTATIVE

Mike Grubb, AIA Cripe A+E

Erin Rossier Cripe A+E

DESCRIPTION OF PROJECT:

BID DUE DATE:

Wednesday July 20, 2011 at 10:00 AM EST

Indiana State Fairgrounds
Communications Building – Contacts Office Room 2
1202 East 38th Street
Indianapolis, IN 46205

INSTRUCTIONS TO BIDDERS:

The project is classified as a public project and will require that common wage scale rates be included in the bid. Common Wage Scale is included in the specifications.

Questions and/or requests should be directed to Frank Hindes at Cripe Architects + Engineers at (317) 706-6324 or by email at fhindes@cripe.biz. All questions should be received in writing prior to July 13, 2011.

The project is sales tax exempt. Information will be provided to the successful bidder.

Bid Submission Requirements:

- Security Deposit (Bid Bond – 5%)
- Undertaking of Insurance
- Bid Form provided and ISBA Form 96A
- Non-Collusion Affidavit (Form 96A)
- Supplement C – Proposed Subcontractors Form (Submit with bid at time of submission.)
- ISFC Required Forms:
 - “Attachment C” MINORITY & WOMEN’S BUSINESS ENTERPRISES ITB SUBCONTRACTOR COMMITMENT FORM (Submit with bid at time of submission.)
 - “Attachment D” Indiana Economic Impact Form (Submit with bid at time of submission.)

Post-Bid Submission Requirements, within 24 hours:
Proposed Schedule of Values

SPECIAL NOTES:

Project Conditions:

- A Construction Staging area will be provided to the General Contractor, Coordinate with the Owners Representative. The site has easy access. Security will be the contractor's responsibility. Material storage within the building is acceptable.
- Follow all Indiana State Fairgrounds rules and regulations

Project Award:	July 21, 2011
Anticipated project start date:	August 22, 2011
Access to site/Mobilization:	Not before August 22, 2011
Required completion date:	December 1, 2011

It is the Contractor’s responsibility to provide all personnel, equipment, materials, etc. to meet the completion date.

Security/safety to be maintained at all times. Access to the interior of the existing buildings not included in the project is not permitted.

A site walk-through is available to familiarize all parties with the extent of the existing conditions following the pre-bid meeting. Follow up site visits can be arranged with Rich Trombley at 927-7571 (office) or 372-8506 (cell).

CUTTING AND PATCHING:

There is cutting and patching required. The contractor is responsible for cutting and patching associated with their work. Patching shall be performed by finish trades

experienced in the repairs of each particular finish. The contractor is responsible for cutting and patching, relocation of equipment of fixtures and other such issues required to perform this work.

CONSTRUCTION SCHEDULE:

A construction schedule is to be developed in cooperation with the successful prime contractor. It is the contractor's responsibility to provide all personnel, equipment, materials, etc. to meet the completion date. The need for additional work shifts required for this project shall be provided in the contractor's bid. No additional cost for overtime hours will be considered by the Owner after receipt of the bids. The contractor shall provide a full time superintendent dedicated solely to the project.

The project completion date is December 1, 2011.

SELECTIVE DEMOLITION:

The Owner may wish to salvage some items not identified as being given to the Owner. The contractor shall give the Owner the option of salvaging items prior to carrying out selective demolition.

A site walk-through was made available to familiarize all parties with the extent of the existing conditions.

QUESTIONS AND COMMENTS:

1. Sub-contractors and suppliers lists WILL BE required to be included with bid submission.
2. The project completion date is December 1, 2011.
3. Questions regarding bid documents shall be directed to Frank Hindes at 706-6324, fhindes@cripe.biz.
4. Discovery Hall will be occupied (on the 3rd floor) during the weekends. Security of all construction items is the responsibility of the Contractor.
5. Electronic copies (PDFs) are available at Repro Graphix in Indianapolis. Plans and specifications are available for a \$100 refundable deposit. This deposit does include an electronic copy AND a hard copy of the documents.

Cripe Architects + Engineers

Erin M. Rossier, Associate AIA, Associate IIDA

Distribution: Those present
All contractors of record for drawings

PRE-BID MEETING - SIGN-IN ROSTER

020420-80000

Indiana State Fair Commission
Discovery Hall Phase Tenant Improvements
(Job Name)

6/30/11
(Date)

PRINT YOUR NAME

PRINT YOUR CO. NAME, EMAIL

(GC)

1. SETH MONTAGUE

J.C. RIPBERGER CONST. sethm@jcripberger.com

2. MEL PETERSON

Miller-Eads Co., Inc.
mpeterson@millereads.com

3. CHRIS NEAL

SUMMIT CONSTRUCTION Co.
CNEAL@SUMMITCONST.COM

4. ERIC GRUBB

ALT CONSTRUCTION ERIC@ALTCONSTRUCTION.COM

5. KEGAHN HOPWOOD

SUNCO CONSTRUCTION Co. Inc.
khopwood@suncoconstruction.com

6. Steve Hylton

S. IULINE-PAINTING
Steve@IULINE-PAINTING.COM

7. RON JONES

Rjones@ermco.com

8. Tracy Short

DAVIS & ASSOCIATES
Tracy@davisassocindy.com
EDWARDS-REGDON CONST. Co., INC.

9. BRIAN TURLEY

BDTURLEY@EDWARDSREGDON.COM

10. Jim Lewman

Mallernee Painting

d.mallernee@comcast.net

11. MIKE ABBEY

J&T SYSTEMS

MABBEY@JANDTSYSTEMS.COM

12. RICH TROMBUE

13. ERIC FREY

MATCON GENERAL CONTRACTORS, INC.

ericf@mattcongc.com

14. Erin Rossier

15. Mike Gross

16. MARK Mc DONALD

PHONE 317-257-7506
FAX 317-254-1305

K.P. MEIRING COMPANY

MARKMcDONALD@K.P.MEIRING.COM

17. _____

18. _____

19. _____

20. _____