



1100 SHELBY STREET  
INDIANAPOLIS, INDIANA 46203.1905 USA  
TEL: 317.884.1431 FAX: 317.884.1433  
NET WWW.HALSTEAD-ARCHITECTS.COM

CERTIFIED BY:



REFURBISHMENT OF  
**ST. GEORGE APARTMENTS**  
2101 BOULEVARD PLACE  
INDIANAPOLIS, INDIANA 46207  
CENTER TOWNSHIP  
MARION COUNTY

EARLY START BID  
PACKAGES 1 & 2 ONLY



DRAWING **OVERALL  
BSMT. AND FIRST FLOOR  
GEN. CONST. PLANS**

ISSUE  
**EARLY START  
BID PACKAGES** 06/02/10

REVISIONS

1	
2	
3	
4	

PROJECT NO. **1009**

DATE **JUNE 2, 2010**

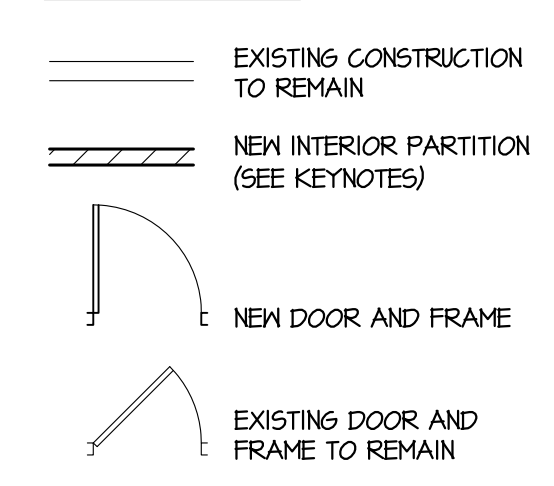
DRAWING NO.

**A1.1**

**KEYNOTES:**

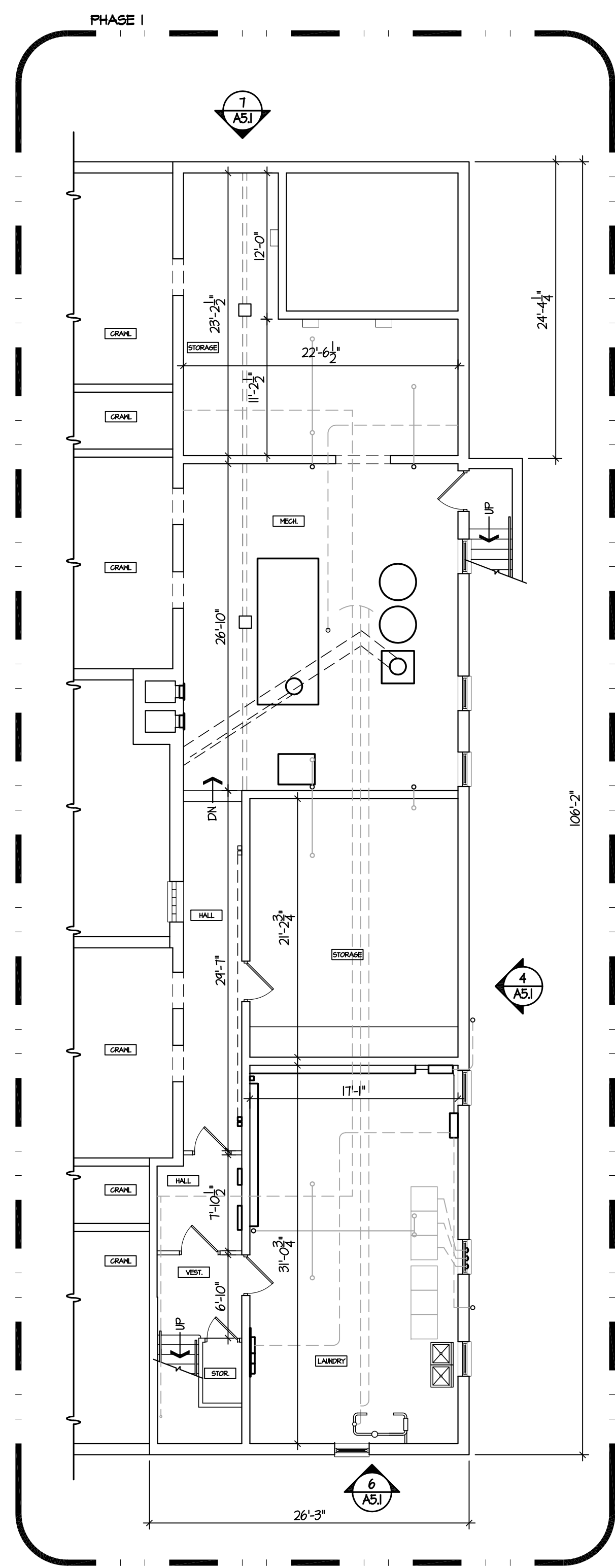
- 1 PROVIDE LABOR COST ONLY FOR INSTALLATION OF OWNER FURNISHED UNIT ENTRY DOOR & FRAME (SEE SCHEDULE & ALTERNATE #12)
- 2 40 1/2" HIGH 3 1/2" STUD KNEEWALL PARTITION WITH 1/2" GYP. BRD. EACH SIDE (FOR FUTURE COUNTERTOP SUPPORT)
- 3 NEW WALL CONSTRUCTION TO CEILING ABOVE (9'-0" A.F.F. - VIF)
- 4 1 1/2" WOOD STUD WALL FURRING WITH GYP. BRD. ONE SIDE FOR INSTALLATION OF NEW SHOWER ENCLOSURE AND TO CONCEAL PLUMBING & ELECTRICAL AS REQUIRED
- 5 WOOD STUD CEILING / BULKHEAD FRAMING TO CONCEAL NEW SUPPLY AND WASTE PLUMBING FOR 2ND FLOOR BATHS (TYPICAL). INSTALL FRAMING TO RESULT IN 1 1/2" GYP. BRD. CEILING SET AT 8'-0" A.F.F.
- 6 TRIM EDGE OF EXISTING WALL WITH WOOD STUD MATERIAL WHERE DEMOLISHED TO ACCEPT NEW GYP. BRD. TO MATCH EXISTING AS REQD.
- 7 INSTALL ROUGH OPENING FOR DOORS AS SCHEDULED (N.I.C. - DOORS SHALL BE SUPPLIED AS A PART OF A FUTURE BID PACKAGE)
- 8 COORDINATE NEW FRAMING AND FINISH WORK WITH KITCHEN CABINETS (N.I.C. - TO BE SUPPLIED AS A PART OF A FUTURE BID PACKAGE)
- 9 COORDINATE NEW FRAMING AND FINISH WORK WITH APPLIANCES (BY OWNER)
- 10 COORDINATE NEW FRAMING AND FINISH WORK WITH PLUMBING FIXTURES (N.I.C. - TO BE SUPPLIED AS A PART OF A FUTURE BID PACKAGE)
- 11 PATCH WALL / CEILING AREA WITH PLASTER TO MATCH EXISTING AS REQUIRED (30 SQ. FT. PER AREA INDICATED)
- 12 FUTURE A.D.A. ACCESSIBLE RAMP AND ENTRY STAIRS (N.I.C. - TO BE SUPPLIED AS A PART OF A FUTURE BID PACKAGE)
- 13 RADIATOR TO REMAIN (SEE ALTERNATE #11)
- 14 PROTECT COMMON AREA TO REMAIN (N.I.C.)
- 15 PROTECT EXISTING DOOR TO REMAIN

**WALL LEGEND**

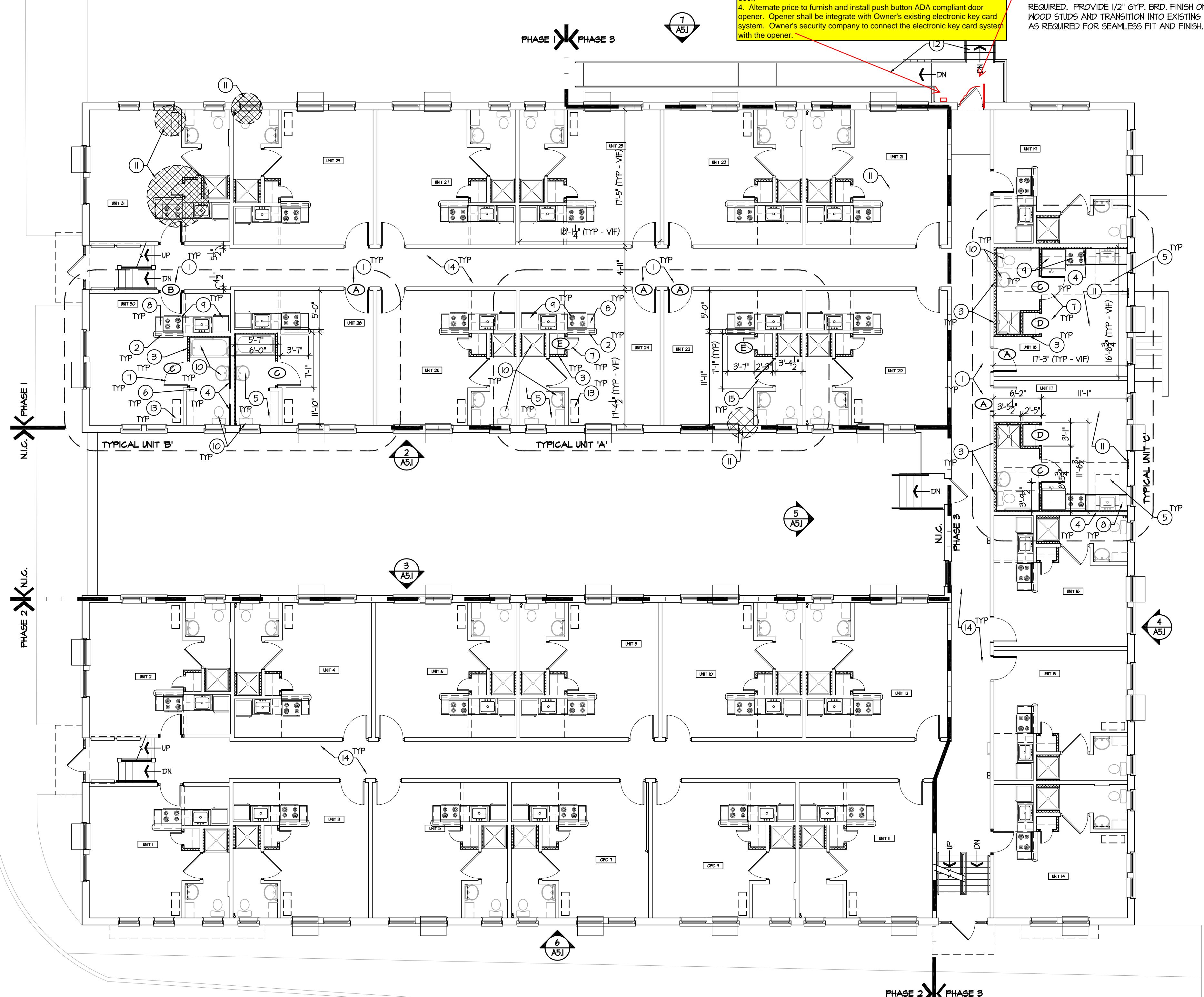


**GENERAL NOTES:**

1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, MASONRY, OR EXISTING WALL SURFACE, UNLESS NOTED OTHERWISE.
3. ALL DOORS SHALL BE 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE.
4. PROVIDE NECESSARY BLOCKING CONCEALED WITHIN THE CONSTRUCTION, AS REQUIRED FOR ANY AND ALL ITEMS THAT MUST BE SECURED TO THE WALL. VERIFY LOCATIONS WITH OWNER.
5. EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES OR OMISSIONS THAT MAY OCCUR TO THE ARCHITECT OR OWNER.
6. REFER TO THE DOOR SCHEDULE ON SHEET A1.2 TO COORDINATE FRAMING REQUIREMENTS FOR THIS BID PACKAGE (COORDINATE WITH ALTERNATE #12).
7. REMOVE AND REPLACE EXISTING LH DOOR WITH NEW 30" x 70" RH Aluminum Storefront in bronze color.
8. Hardware to integrate with Owner's electronic key card system. Owner's security company to connect the electronic key card system with the new hardware.
9. Finish Opening as required with break metal and sealants in color to match door.
10. Alternate price to furnish and install push button ADA compliant door opener. Opener shall be integrated with Owner's existing electronic key card system. Owner's security company to connect the electronic key card system with the opener.
9. THE OVERALL GENERAL CONSTRUCTION PLANS INDICATE CONSTRUCTION ELEMENTS TO QUANTIFY WALL FRAMING, GYPSUM BOARD AND PLASTER PATCHING ONLY. INDICATIONS OF OTHER TYPES OF FINISHES, EQUIPMENT, AND / OR OTHER ITEMS ARE FOR REFERENCE PURPOSES ONLY, UNLESS NOTED OTHERWISE.
10. UNIT TYPES:  
TYPE "A": REFER TO UNIT #22 & #24 FOR TYPICAL FRAMING REQUIREMENTS. TYPE "A" UNITS INCLUDE A NEW STAND UP SHOWER UNIT, NEW GLOSET FRAMING, AND A TYPICAL KITCHEN DESIGN WITH PENINSULA WALL FRAMING (QTY: 56)  
TYPE "B": REFER TO UNIT #28 & #30 FOR TYPICAL FRAMING REQUIREMENTS. TYPE "B" UNITS INCLUDE ONE-PIECE TUB / SHOWER UNIT, EXPANDED NEW WALL FRAMING AND A TYPICAL KITCHEN DESIGN (SEE TYPE "A" DESCRIPTION) (QTY: 2)  
TYPE "C": REFER TO UNIT #17 & #18 FOR TYPICAL FRAMING REQUIREMENTS. TYPE "C" UNITS ARE A.D.A. SPECIFIC AND INCLUDE ADA BATH AND KITCHEN FACILITIES (QTY: 2)  
11. WALL TYPES: ALL NEW WALL PARTITIONS SHALL BE 3-1/2" WOOD STUDS. WHERE USED AS FURRING, STUDS SHALL BE TURNED WITH LONG DIMENSION PARALLEL TO WALL SURFACE. FILL GAPS FOR SHOWNERS & TUBS AS REQUIRED. PROVIDE 1/2" GYP. BRD. FINISH ON NEW WOOD STUDS AND TRANSITION INTO EXISTING PLASTER AS REQUIRED FOR SEAMLESS FIT AND FINISH.



**2 LOWER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"